

PROPOSED SUBDIVISION & SEMI DETACHED DWELLINGS AT
19 PARK STREET, CAMPSIE

- National Timber Framing Code & AS1684
- Refer structural engineers details
- To external finishes schedule
- To comply with BASIX requirements

BENCHMARK
NAIL IN KERB
RL 13.45

—RC Slab to structural engineer's details

DP 392957

No. 8
WEATHERBOARD HOUSE
TILED ROOF

121
DP 3846

No. 21
2 STOREY
BRICK UNITS
TILED ROOF

WINDOW SCHEDULE	
Window No.	Window Size
W1	975W x 2700H
W2	1865W x 2700H
W3	2050W x 2700H
W4	1785W x 2700H
W5	1710W x 2700H
W6	900W x 2700H
W7	1630W x 2700H
W8	975W x 2350H
W9	1865W x 2350H
W10	2065W x 2350H
W11	1765W x 2350H
W12	1710W x 2350H
W13 (x2)	3500W x 1500H
W14	1800W x 1500H
W15	900W x 1500H
W16	1945W x 2915H
W17	980W x 575H
W18	1100W x 575H

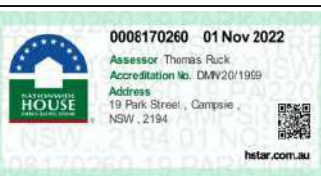
DOOR SCHEDULE	
Door No.	Door Size
D1	4000W x 2700H
D2	DELETED 90W x 2700H
D3	4100W x 2700H
D4	5655W x 2020H

WINDOW SCHEDULE	
Window No.	Window Size
W1a (x2)	1865W x 2700H
W2a	900W x 2435H
W3a (x2)	1335W x 1820H
W4a	900W x 2350H
W5a (x2)	1865W x 2350H
W6a	1060W x 2325H
W7a	1770W x 2700H
W8a	900W x 1500H
W9a	1800W x 1500H
W10a (x2)	3500W x 1500H
W11a	915W x 2730H
W12a	1060W x 575H
W13a	1100W x 575H
W14a	2430W x 2400H

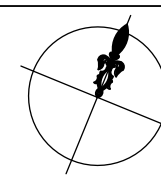
DOOR SCHEDULE	
Door No.	Door Size
D1a	3490W x 2700H
D2a	2430W x 2700H
D3a	3860W x 2700H
D4a	4100W x 2700H
D5a	4025W x 2040H

NATHERS summary for 19 & 19A Park Street Campsie 2194			
Building Elements		Material	Detail
External walls	Cavity brick		25mm insulation board or the like (total system R value R1.96) (excluding garage) min cavity width 60mm
	Lightweight cladding		R2.5 bulk insulation
Internal walls	Single skin brick		-
	Plasterboard on studs - Attic		R2.5 bulk insulation to walls adjacent to roofspace
Common walls	Cavity brick		
Ceilings	Plasterboard		R3.5 bulk insulation to ceilings with roof exposed to outside air (excluding garage)
Floors	Concrete		-
Floor finishes	Tiles - Wet areas, Timber flooring - Living areas, Carpet - bedrooms		-
Roof	Metal Roof - Dark colour		Builders Blanket (Roll - R1.3)
	Concrete		-
Windows/doors - Dwelling 19			
ANE-001-05	Aluminium frame, single glazed ET	U value 4.40 or less and SHGC 0.54	Double hung windows - W2a, W3a, W4a, W5a, W9a, W10a, W11a, W12a
AW5-011-18	Aluminium frame, single glazes comfort plus	U value 4.36 or less and SHGC 0.59	Sliding doors - D1a, D2a, D3a, D4a
BR2-002-03	Aluminium frame, single glazes eVan	U value 4.66 or less and SHGC 0.48	Louvre windows - W1a, W8a, W16a
ALM-002-01	Aluminium frame, single glazed clear	U value 6.70 or less and SHGC 0.70	Louvre windows, fixed windows W56a, W7a, W13a, W19a
ALM - 001-01	Aluminium frame, single glazed clear	U value 6.70 or less and SHGC 0.57	Awning windows: W13a, W14a, W17a, W18a
Windows/doors - Dwelling 19A			
ANE-001-05	Aluminium frame, single glazed ET	U value 4.40 or less and SHGC 0.54	Double hung windows - W1, W2a, W5
AW5-011-18	Aluminium frame, single glazes comfort plus	U value 4.36 or less and SHGC 0.59	Sliding doors - D1, D2, D3, D4, D5
ALM-002-01	Aluminium frame, single glazed clear	U value 6.70 or less and SHGC 0.70	Louvre windows, fixed windows W2, W4, W6, W7, W8, W10, W11
ALM - 001-01	Aluminium frame, single glazed clear	U value 6.70 or less and SHGC 0.57	Awning windows, W3, W9, W10, W12
U and SHGC values are according to NFRC. Alternative products may be used if the U value is the same or lower and the SHGC is within 10% of the above figures. This also applies to changes to the type and thickness of glass required to meet Bestfit and acoustic regulations.			
Ceiling fans: 1200mm ceiling fans to bedrooms - Dwelling 19 only			
Lighting: Downlights have been rated with non-ventilated LED downlights as per NATHERS certificate.			
Note: Insulation specified must be installed in accordance with Part 2.12.1.1 of the BCA.			
Note: In some climate zones, insulation should be installed with due consideration of condensation and associated interaction with adjoining building materials.			
Note: In infiltration elements, the insulation, results and sounder or better fit.			

REVISION	ISSUE	DATE
A	DEVELOPMENT APPLICATION	19/10/2021
B	DEVELOPMENT APPLICATION	16/01/2022
FOR DA / SK / TENDER ISSUE ONLY		



**FOR DEVELOPMENT APPLICATION
ISSUE ONLY**



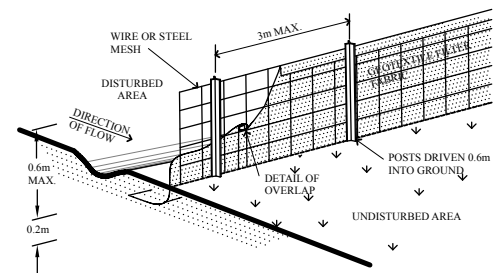
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19 PARK STREET, CAMPSIE
FOR MR TOMI VIDOVIC
SITE / ROOF PLAN
SCALE 1:200 @ A3
DA1.00
JANUARY 2023

Consideration of the following measures on site will be undertaken to minimise waste and save resources.

- Purchasing Policy: Ordering the right quantities of materials
- Minimising site disturbance
- Careful separation of off-cuts to facilitate re-use, resale or efficient recycling
- Co-ordination/sequencing of various trades
- Refer to plan for specific designated areas
- Refer Sediment Control Plan

1. All work shall be generally carried out in accordance with:
 - a. Local authority requirements
 - b. EPA requirements
 - c. NSW department of housing"Management urban stormwater, soils and construction," 3rd edition, August 1998
2. Maintain the erosion control devices to the satisfaction of the superintendent and the local authority.
3. When stormwater pits are constructed, prevent site runoff entering unless silt fences are erected around pits.
4. Contractor is to ensure all erosion and sedimentation control devices are maintained in good working order and operate effectively. Repairs and/or maintenance shall be undertaken as required, particularly following storm events.

- Promote a clear understanding of ways to identify and minimise noise from construction works
- Focus on applying all 'feasible' and 'reasonable' work practices to minimise construction noise impacts
- Encourage construction to be undertaken only during the recommended standard hours, unless approval is given for works that cannot be undertaken during those hours
- Stream line the assessment and approval stages and reduce time spent dealing with complaints at the project implementation stage
- Provide flexibility in selecting site-specific feasible and reasonable work practices in order to minimise noise impacts.



A cross-sectional diagram of a sandbag spillway. A car is shown on a road surface, with an arrow labeled 'RUNOFF' pointing towards a row of sandbags. The sandbags are arranged in a line, with labels indicating 'SANDBAGS OVERLAP INTO KERB' and '2M MIN' for the distance between them. Below the sandbags, a layer of sand is shown, with a label '0.01M MIN' for its thickness. The sandbags are labeled 'THREE LAYERS OF SANDBAGS WITH ENDS OVERLAPPED'. A gap between the sandbags is labeled 'GAP BETWEEN BAGS ACT AS SPILLWAY'.

The diagram illustrates the installation and function of a geotextile filter fabric for runoff water sediment control. It is divided into two parts: a cross-sectional view on the left and a perspective view on the right.

Cross-sectional view (Left):

- Geotextile Filter Fabric:** A red line representing the fabric is shown being installed into a trench.
- Stakes:** Vertical wooden stakes are used to hold the fabric in place.
- Runoff Water Sediment:** Arrows indicate water flowing from the left, carrying sediment (represented by a grey stippled area).
- Buried Fabric:** The fabric is shown being pushed into the ground by the stakes.
- 0.2m:** A dimension line indicates the distance from the edge of the fabric to the trench.
- Filtered Water:** An arrow shows the water passing through the fabric and into a collection channel.

Perspective view (Right):

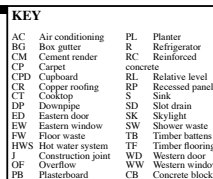
- Stakes:** The stakes are shown holding the fabric in place around the perimeter of the installation.
- Drop Inlet with Grate:** A structure for collecting the filtered water, shown as a rectangular box with a grate on top.
- Geotextile Filter Fabric:** The fabric is shown covering the bottom and sides of the collection area.

A cross-sectional diagram of a hay bale erosion control system. A rectangular hay bale is shown with a gravel layer (200mm thick) on its top surface. A geotextile filter fabric is embedded 200mm into the ground beneath the gravel. A stake is driven 600mm into the ground with the first stake angled towards previously laid bales. Staples are used to hold the cloth on the top edge. A disturbed area is shown upstream of the hay bale, and a buffer zone (grassed area) is shown downstream. The direction of flow is indicated by an arrow pointing towards the hay bale.

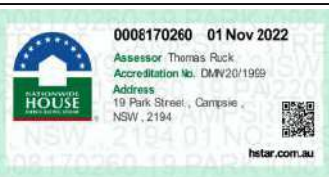
Labels in the diagram include:

- STAPLES ON TOP EDGE TO HOLD CLOTH
- DISTURBED AREA
- STAKE DRIVEN 600mm INTO THE GROUND WITH FIRST STAKE ANGLED TOWARDS PREVIOUSLY LAID BALE
- GEOTEXTILE FILTER FABRIC
- DIRECTION OF FLOW
- 200mm
- GRAVEL (OPTIONAL)
- GEOTEXTILE EMBEDDED 200mm INTO GROUND
- HAYBALE EMBEDDED 100mm INTO GROUND
- BUFFER ZONE GRASSED AREA

STRAW BALE AND GEOTEXTILE SEDIMENT FILTER



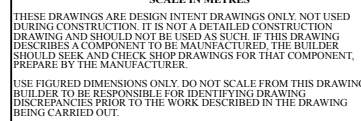
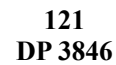
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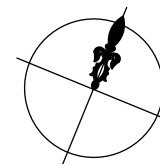
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19 PARK STREET, CAMPSIE
FOR MR TOMI VIDOVIC
CONSTRUCTION MANAGEMENT PLAN DA2.01
SC4.12700@A3 JAM1047 2023

Demolition must be prepared for the development in accordance with Australian Standard AS2601-2001 & relevant environmental / occupational health & safety requirements.

- Existing dwelling
- Existing garage and external w/c
- Existing metal pergola
- Existing concrete pathways and slabs
- All items indicated in red dash lines



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19 PARK STREET, CAMPSIE
FOR MR TOMI VIDOVIC
DEMOLITION PLAN
SCALE 1:200 @ A3 **DA3.00** **A**
JANUARY 2023

CALCULATIONS

Site	
Area (sq/m)	614
FSR Proposed	
Area (sq/m)	463.372
Area (FSR)	0.75:1
Max allowable (FSR)	0.9:1
Site Coverage	
Site Coverage	271.236
Area (%)	44.1
Landscape Proposed	
Area (sq/m)	245.781
Area (%)	40.02



SCALE IN METRES

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0008170260 01 Nov 2022

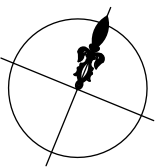
Assessor Thomas Ruck

Accreditation No. DMV20/1959

Address: 19 Park Street, Campsie, NSW, 2194.

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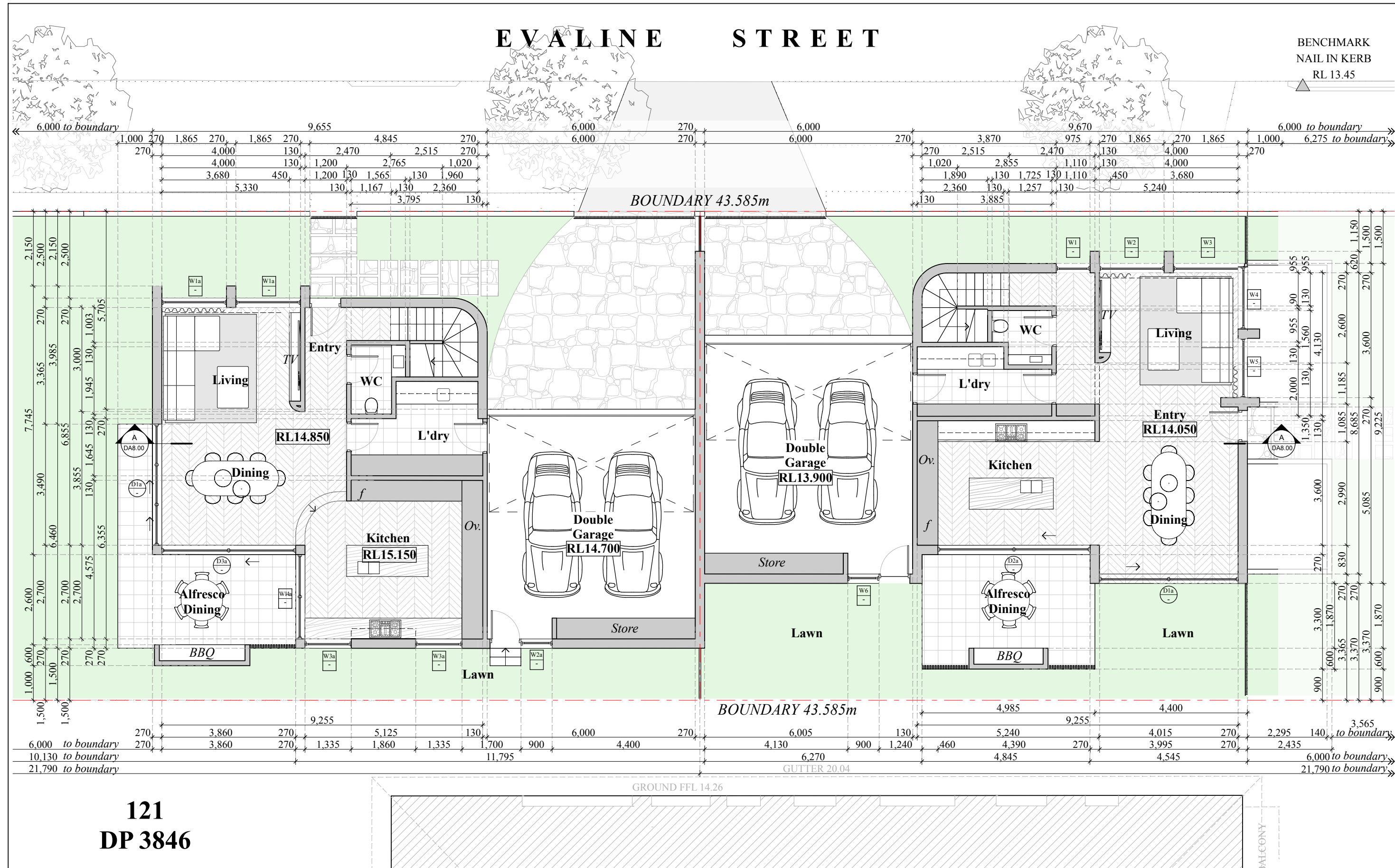
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19 PARK STREET, CAMPSIE
FOR MR TOMI VIDOVIC
CALCULATIONS PLAN
SCALE 1:200@A3
JANUARY 2023

DA4.00 [A]



121
DP 3846

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KEY

AC	Air conditioning	PL	Plaster
BG	Box gutter	RC	Refrigerator
CM	Concret render	RC	Reinforced concrete
CP	Carpet	RL	Relative level
CR	Cupboard	RP	Recessed panel
CT	Cupboard	S	Sink
CT	Cupboard	SD	Skid drain
DP	Downpipe	SK	Skylight
ED	Eastern door	SW	Shower waste
EW	Eastern window	TB	Timber battens
FW	Floor waste	TF	Timber flooring
HWS	Hot water system	WD	Western door
J	Construction joint	WW	Western window
OF	Overflow	CB	Concrete block
PB	Plasterboard		

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0008170260 01 Nov 2022

Assessor Thomas Ruck

Accreditation No. DMV20/1959

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FOR DEVELOPMENT APPLICATION
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19 PARK STREET, CAMPSIE

FOR M R TOMI VIDOVIC

GROUND FLOOR PLAN

SCALE 1:100 @ A3

DA5.00 [A]

JANUARY 2023

EVALINE STREET

BOUNDARY 43.585m

GROUND FFL 14.26

121

DP 3846

Room Labels: Living, Study, Bedroom, Bathroom, En., Guest Bedroom, Balcony, Void, TV, Store, Lin, Fall, W1a, W1b, W1c, W1d, W1e, W1f, W1g, W1h, W1i, W1j, W1k, W1l, W1m, W1n, W1o, W1p, W1q, W1r, W1s, W1t, W1u, W1v, W1w, W1x, W1y, W1z, W2a, W2b, W2c, W2d, W2e, W2f, W2g, W2h, W2i, W2j, W2k, W2l, W2m, W2n, W2o, W2p, W2q, W2r, W2s, W2t, W2u, W2v, W2w, W2x, W2y, W2z, W3a, W3b, W3c, W3d, W3e, W3f, W3g, W3h, W3i, W3j, W3k, W3l, W3m, W3n, W3o, W3p, W3q, W3r, W3s, W3t, W3u, W3v, W3w, W3x, W3y, W3z, W4a, W4b, W4c, W4d, W4e, W4f, W4g, W4h, W4i, W4j, W4k, W4l, W4m, W4n, W4o, W4p, W4q, W4r, W4s, W4t, W4u, W4v, W4w, W4x, W4y, W4z, W5a, W5b, W5c, W5d, W5e, W5f, W5g, W5h, W5i, W5j, W5k, W5l, W5m, W5n, W5o, W5p, W5q, W5r, W5s, W5t, W5u, W5v, W5w, W5x, W5y, W5z, W6a, W6b, W6c, W6d, W6e, W6f, W6g, W6h, W6i, W6j, W6k, W6l, W6m, W6n, W6o, W6p, W6q, W6r, W6s, W6t, W6u, W6v, W6w, W6x, W6y, W6z, W7a, W7b, W7c, W7d, W7e, W7f, W7g, W7h, W7i, W7j, W7k, W7l, W7m, W7n, W7o, W7p, W7q, W7r, W7s, W7t, W7u, W7v, W7w, W7x, W7y, W7z, W8a, W8b, W8c, W8d, W8e, W8f, W8g, W8h, W8i, W8j, W8k, W8l, W8m, W8n, W8o, W8p, W8q, W8r, W8s, W8t, W8u, W8v, W8w, W8x, W8y, W8z, W9a, W9b, W9c, W9d, W9e, W9f, W9g, W9h, W9i, W9j, W9k, W9l, W9m, W9n, W9o, W9p, W9q, W9r, W9s, W9t, W9u, W9v, W9w, W9x, W9y, W9z, W10a, W10b, W10c, W10d, W10e, W10f, W10g, W10h, W10i, W10j, W10k, W10l, W10m, W10n, W10o, W10p, W10q, W10r, W10s, W10t, W10u, W10v, W10w, W10x, W10y, W10z, W11a, W11b, W11c, W11d, W11e, W11f, W11g, W11h, W11i, W11j, W11k, W11l, W11m, W11n, W11o, W11p, W11q, W11r, W11s, W11t, W11u, W11v, W11w, W11x, W11y, W11z, W12a, W12b, W12c, W12d, W12e, W12f, W12g, W12h, W12i, W12j, W12k, W12l, W12m, W12n, W12o, W12p, W12q, W12r, W12s, W12t, W12u, W12v, W12w, W12x, W12y, W12z, W13a, W13b, W13c, W13d, W13e, W13f, W13g, W13h, W13i, W13j, W13k, W13l, W13m, W13n, W13o, W13p, W13q, W13r, W13s, W13t, W13u, W13v, W13w, W13x, W13y, W13z, W14a, W14b, W14c, W14d, W14e, W14f, W14g, W14h, W14i, W14j, W14k, W14l, W14m, W14n, W14o, W14p, W14q, W14r, W14s, W14t, W14u, W14v, W14w, W14x, W14y, W14z, W15a, W15b, W15c, W15d, W15e, W15f, W15g, W15h, W15i, W15j, W15k, W15l, W15m, W15n, W15o, W15p, W15q, W15r, W15s, W15t, W15u, W15v, W15w, W15x, W15y, W15z, W16a, W16b, W16c, W16d, W16e, W16f, W16g, W16h, W16i, W16j, W16k, W16l, W16m, W16n, W16o, W16p, W16q, W16r, W16s, W16t, W16u, W16v, W16w, W16x, W16y, W16z, W17a, W17b, W17c, W17d, W17e, W17f, W17g, W17h, W17i, W17j, W17k, W17l, W17m, W17n, W17o, W17p, W17q, W17r, W17s, W17t, W17u, W17v, W17w, W17x, W17y, W17z, W18a, W18b, W18c, W18d, W18e, W18f, W18g, W18h, W18i, W18j, W18k, W18l, W18m, W18n, W18o, W18p, W18q, W18r, W18s, W18t, W18u, W18v, W18w, W18x, W18y, W18z, W19a, W19b, W19c, W19d, W19e, W19f, W19g, W19h, W19i, W19j, W19k, W19l, W19m, W19n, W19o, W19p, W19q, W19r, W19s, W19t, W19u, W19v, W19w, W19x, W19y, W19z, W20a, W20b, W20c, W20d, W20e, W20f, W20g, W20h, W20i, W20j, W20k, W20l, W20m, W20n, W20o, W20p, W20q, W20r, W20s, W20t, W20u, W20v, W20w, W20x, W20y, W20z, W21a, W21b, W21c, W21d, W21e, W21f, W21g, W21h, W21i, W21j, W21k, W21l, W21m, W21n, W21o, W21p, W21q, W21r, W21s, W21t, W21u, W21v, W21w, W21x, W21y, W21z, W22a, W22b, W22c, W22d, W22e, W22f, W22g, W22h, W22i, W22j, W22k, W22l, W22m, W22n, W22o, W22p, W22q, W22r, W22s, W22t, W22u, W22v, W22w, W22x, W22y, W22z, W23a, W23b, W23c, W23d, W23e, W23f, W23g, W23h, W23i, W23j, W23k, W23l, W23m, W23n, W23o, W23p, W23q, W23r, W23s, W23t, W23u, W23v, W23w, W23x, W23y, W23z, W24a, W24b, W24c, W24d, W24e, W24f, W24g, W24h, W24i, W24j, W24k, W24l, W24m, W24n, W24o, W24p, W24q, W24r, W24s, W24t, W24u, W24v, W24w, W24x, W24y, W24z, W25a, W25b, W25c, W25d, W25e, W25f, W25g, W25h, W25i, W25j, W25k, W25l, W25m, W25n, W25o, W25p, W25q, W25r, W25s, W25t, W25u, W25v, W25w, W25x, W25y, W25z, W26a, W26b, W26c, W26d, W26e, W26f, W26g, W26h, W26i, W26j, W26k, W26l, W26m, W26n, W26o, W26p, W26q, W26r, W26s, W26t, W26u, W26v, W26w, W26x, W26y, W26z, W27a, W27b, W27c, W27d, W27e, W27f, W27g, W27h, W27i, W27j, W27k, W27l, W27m, W27n, W27o, W27p, W27q, W27r, W27s, W27t, W27u, W27v, W27w, W27x, W27y, W27z, W28a, W28b, W28c, W28d, W28e, W28f, W28g, W28h, W28i, W28j, W28k, W28l, W28m, W28n, W28o, W28p, W28q, W28r, W28s, W28t, W28u, W28v, W28w, W28x, W28y, W28z, W29a, W29b, W29c, W29d, W29e, W29f, W29g, W29h, W29i, W29j, W29k, W29l, W29m, W29n, W29o, W29p, W29q, W29r, W29s, W29t, W29u, W29v, W29w, W29x, W29y, W29z, W30a, W30b, W30c, W30d, W30e, W30f, W30g, W30h, W30i, W30j, W30k, W30l, W30m, W30n, W30o, W30p, W30q, W30r, W30s, W30t, W30u, W30v, W30w, W30x, W30y, W30z, W31a, W31b, W31c, W31d, W31e, W31f, W31g, W31h, W31i, W31j, W31k, W31l, W31m, W31n, W31o, W31p, W31q, W31r, W31s, W31t, W31u, W31v, W31w, W31x, W31y, W31z, W32a, W32b, W32c, W32d, W32e, W32f, W32g, W32h, W32i, W32j, W32k

DP 3846

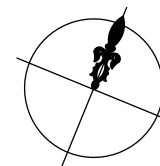
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SCALE IN METRES				
<p>THESE DRAWINGS ARE DESIGN INTENT DRAWINGS ONLY. NOT USED DURING CONSTRUCTION. IT IS NOT A DETAILED CONSTRUCTION DRAWING AND SHOULD NOT BE USED AS SUCH. IF THIS DRAWING DESCRIBES A COMPONENT TO BE MANUFACTURED, THE BUILDER MUST READ AND CHECK FOR DRAWINGS FOR THAT COMPONENT, PREPARE BY THE MANUFACTURER.</p> <p>USE FIGURED DIMENSIONS ONLY. DO NOT SCALE FROM THIS DRAWING. BUILDER TO BE RESPONSIBLE FOR IDENTIFYING DRAWING DISCREPANCY PRIOR TO THE WORK DESCRIBED IN THE DRAWING BEING CARRIED OUT.</p> <p>THE DESIGNER RETAINS COPYRIGHT IN THIS DRAWING WHICH IS NOT TO BE REPRODUCED WITHOUT THE CONSENT OF THE DESIGNER.</p>				

KEY	
AC	Air conditioning
BC	Box gutter
CM	Cement render
CP	Carpet
CPD	Cupboard
CR	Copper roofing
CT	Cooktop
DP	Dowpieve
ED	Eastern door
EW	Eastern window
F	Flow waste
HWS	Hot water system
J	Joint
OF	Overflow
PB	Plasterboard
PL	Planter
R	Refrigerator
RC	Reinforced concrete
RL	Relative level
RP	Recessed panel
S	Sink
SD	Slot drain
SK	Skylight
SW	Shower waste
TB	Timber battens
TF	Timber flooring
WD	Western door
WW	Western window
CB	Concrete block

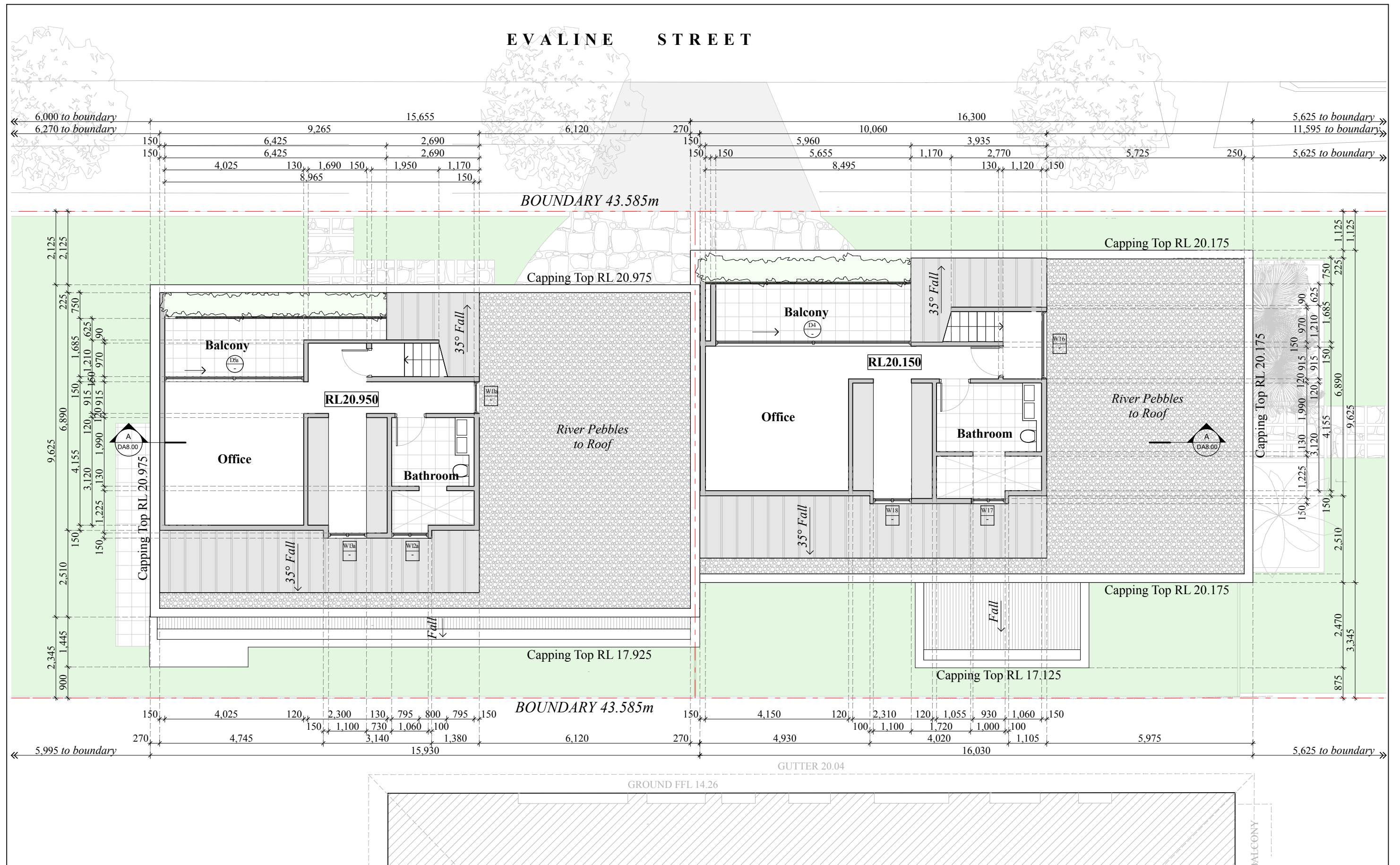
REVISION	ISSUE	DATE
A	DEVELOPMENT APPLICATION	19/10/2021
B	DEVELOPMENT APPLICATION	16/01/2022
FOR DA / SK / TENDER ISSUE ONLY		

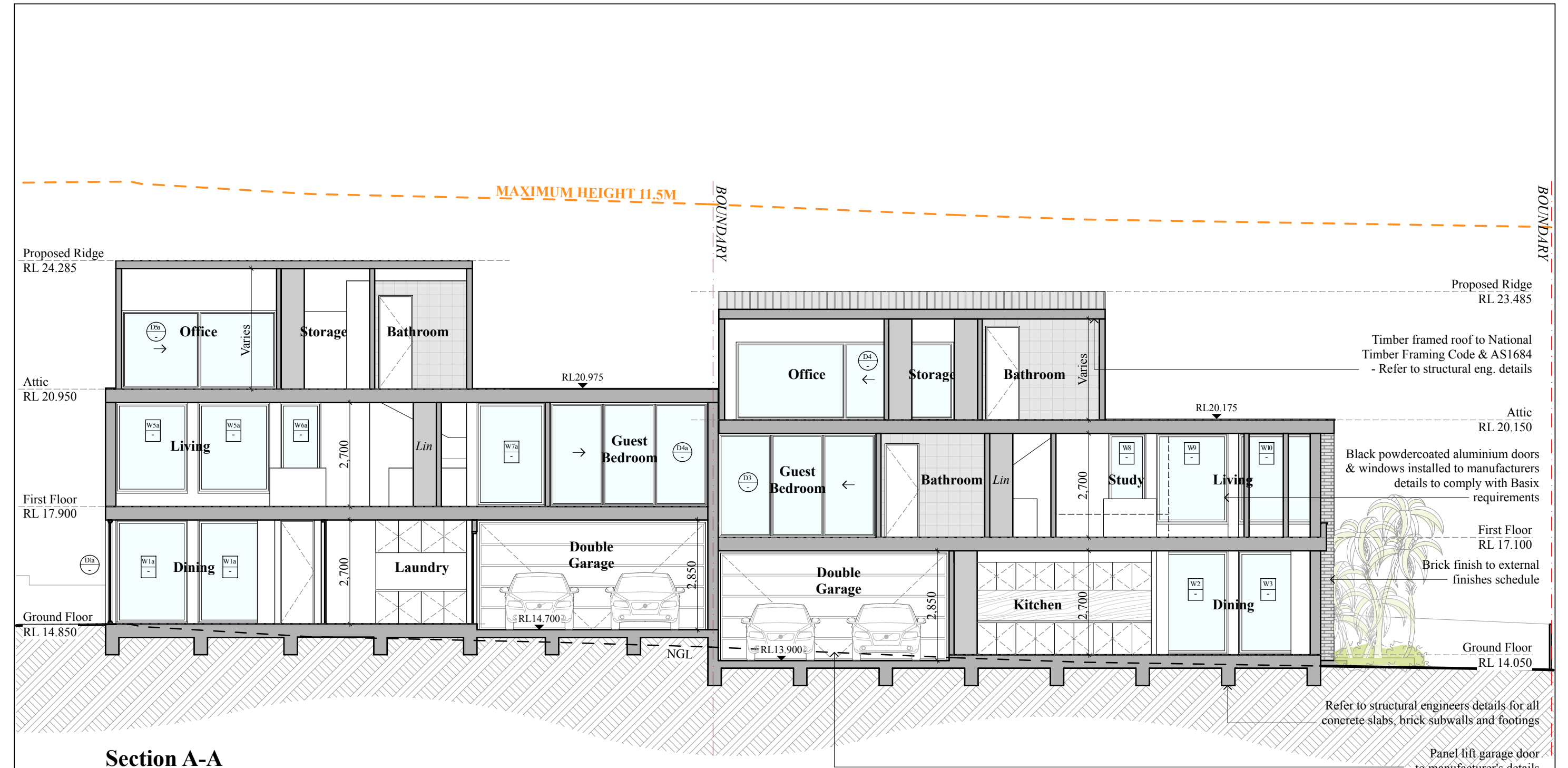


**FOR DEVELOPMENT APPLICATION
ISSUE ONLY**



GRAPHIO^{AM}
SUITE 3/04, 56 BOWMAN STREET, PYRMONT NSW 2009
TELEPHONE +61 2 9661 0628 EMAIL contact@graphioam.com.au
19 PARK STREET, CAMPSIE
FOR MR TOMI VIDOVIC
FIRST FLOOR PLAN
SCALE 1:100 @A3
DA6.00
JANUARY 2023





Section A-A

0 1 2 3 4 5

SCALE IN METRES

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KEY

AC	Air conditioning	PL	Plaster
BG	Box gutter	R	Refrigerator
CM	Consent render	RC	Reinforced concrete
CP	Carpet	RL	Relative level
CPD	Cupboard	RP	Recessed panel
CR	Copper roofing	S	Sink
CT	Cockup	SD	Skid drain
DP	Downpipe	SK	Skylight
ED	Eastern door	SW	Showers waste
EW	Eastern window	SW	Showers waste
FW	Floor waste	TB	Timber battens
FWS	Hot water system	TF	Timber flooring
J	Construction joint	WD	Western door
OF	Overflow	WW	Western window
PB	Plasterboard	CB	Concrete block

REVISION	ISSUE	DATE
A	DEVELOPMENT APPLICATION	19/10/2022
B	DEVELOPMENT APPLICATION	16/01/2023

FOR DA / SK / TENDER ISSUE ONLY

0008170260 01 Nov 2022

Assessor: Thomas Ruck

Accreditation No: DMV20/1959

Address: 19 Park Street, Campsie, NSW, 2194

FOR DEVELOPMENT APPLICATION
ISSUE ONLY

GRAPHIO^{AM}

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19 PARK STREET, CAMPSIE

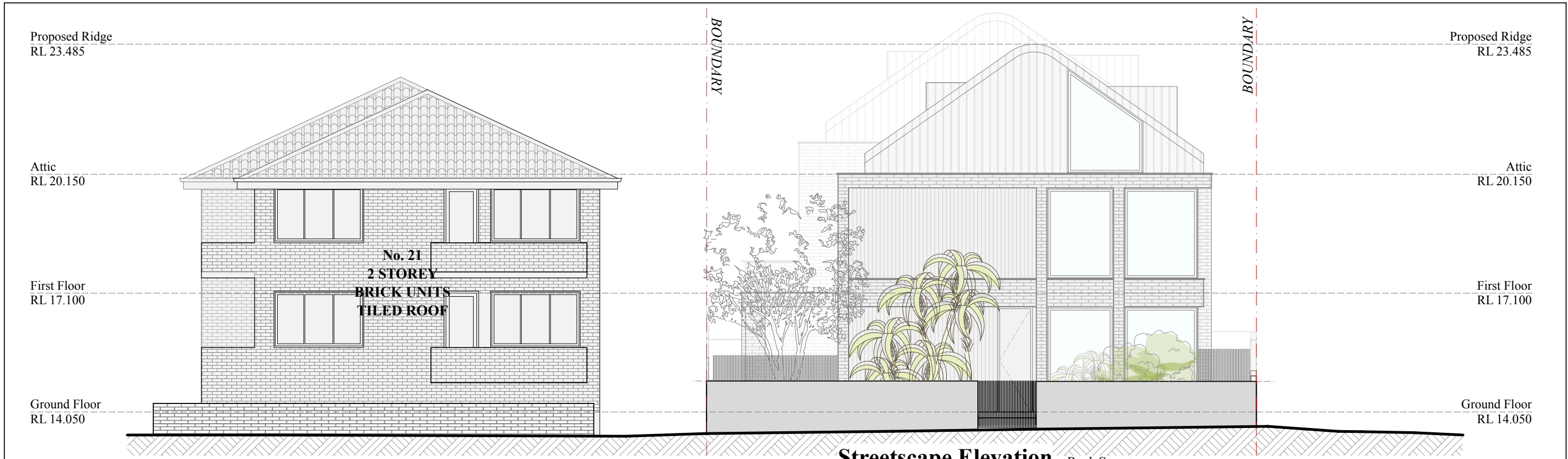
FOR MR TOMI VIDOVIC

SECTION

SCALE 1:100 @ A3

DA8.00 [A]

JANUARY 2023



Streetscape Elevation *Park Street*

MAXIMUM HEIGHT 11.5M



North-Eastern Elevation

Black powdercoated aluminium doors & windows installed to manufacturers details to comply with Basix requirements

Brick finish to external finishes schedule

0 1 2 3 4 5

SCALE IN METRES

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KEY

AC	Air conditioning	PL	Plaster
BG	Box gutter	R	Refrigerator
CM	Cement render	RC	Reinforced concrete
CP	Carpet	RL	Relative level
CPD	Cupboard	RP	Recessed panel
CR	Copper roofing	S	Sink
CT	Cockup	SD	Slot drain
DP	Downpipe	SK	Skylight
ED	Eastern door	SW	Showers waste
EW	Eastern window	TB	Timber battens
FW	Floor waste	TF	Timber flooring
HWS	Hot water system	WD	Western door
J	Construction joint	WW	Western window
OF	Overflow	CB	Concrete block
PB	Plasterboard		

REVISION	ISSUE	DATE
A	DEVELOPMENT APPLICATION	19/10/2022
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FOR DA / SK / TENDER ISSUE ONLY

0008170260 01 Nov 2022

Assessor: Thomas Ruck

Accreditation No: DMV20/1959

Address: 19 Park Street, Campsie, NSW, 2194.

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FOR DEVELOPMENT APPLICATION

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19 PARK STREET, CAMPSIE

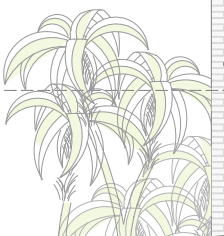
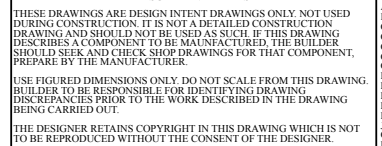
FOR MR TOMI VIDOVIC

ELEVATIONS

SCALE 1:100 @ A3

DA9.00 [A]

JANUARY 2023

*Evaline Street*

PL	Planter
R	Refrigerator
RC	Reinforced concrete
RL	Relative level
RP	Recessed panel
S	Sink
SD	Slot drain
SK	Skylight
SW	Shower waste
TB	Timber battens
TF	Timber flooring
WD	Western door
WW	Western window
CB	Concrete block

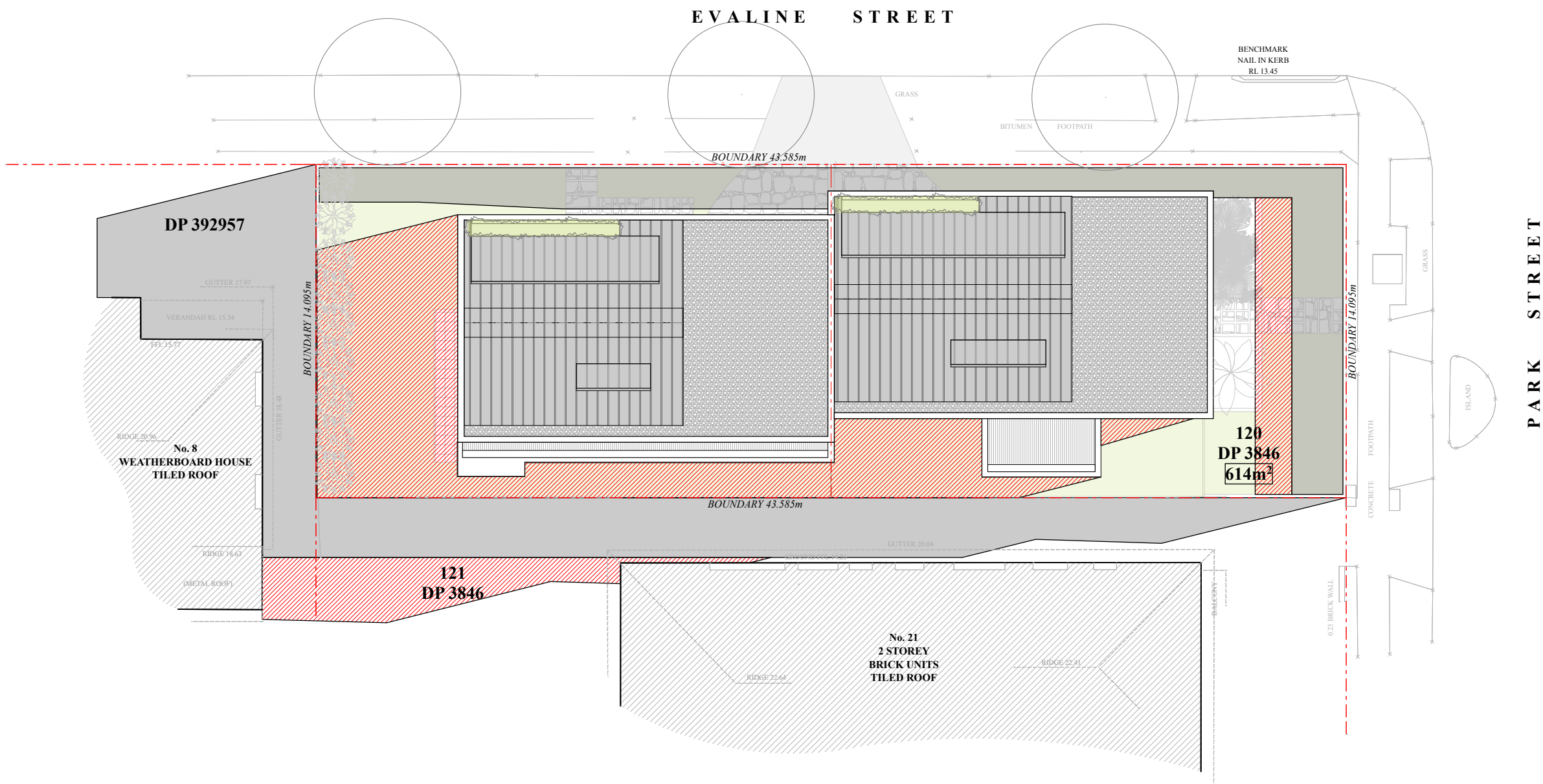
A	DEVELOPMENT APPLICATION	19/10/2022
B	DEVELOPMENT APPLICATION	16/01/2023
FOR DA / SK / TENDER ISSUE ONLY		



**FOR DEVELOPMENT APPLICATION
ISSUE ONLY**

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19 PARK STREET, CAMPSIE
FOR MR TOMI VIDOVIC
ELEVATIONS CONT.
SCALE: 1:100
DA9.02
(A) (02) 9660 0628

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19 PARK STREET, CAMPSIE
F O R M T O M I V I D O V I C
ELEVATIONS CONT.
SCALE 1:100 (A) **DA9.04**
DATE 11/09/2003



JUNE 21, 8AM

KEY

Existing Shadows

Proposed Shadows

0 2 4 6 8 10

SCALE IN METRES

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KEY		
AC	Air conditioning	PL Planter
BG	Box gutter	R Refrigerator
CM	Cement render	RC Reinforced concrete
CP	Carpet	RL Relative level
CPO	Cupboard	RP Recessed panel
CR	Copper roofing	S Sink
CT	Cockup	SD Slot drain
DP	Downpipe	SK Skylight
ED	Eastern door	SW Shower waste
EW	Eastern window	TB Timber battens
FW	Floor waste	TF Timber flooring
HWS	Hot water system	TD Timber door
J	Construction joint	WD Western door
OF	Overflow	WW Western window
PB	Plasterboard	CB Concrete block

REVISION	ISSUE	DATE
A	DEVELOPMENT APPLICATION	19/10/2022
B	DEVELOPMENT APPLICATION	16/01/2023
FOR DA / SK / TENDER ISSUE ONLY		

0008170260 01 Nov 2022

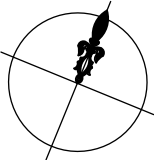
Assessor: Thomas Ruck

Accreditation No: DMV20/1959

Address: 19 Park Street, Campsie, NSW, 2194

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FOR DEVELOPMENT APPLICATION
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GRAPHIOAM

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19 PARK STREET, CAMPSIE

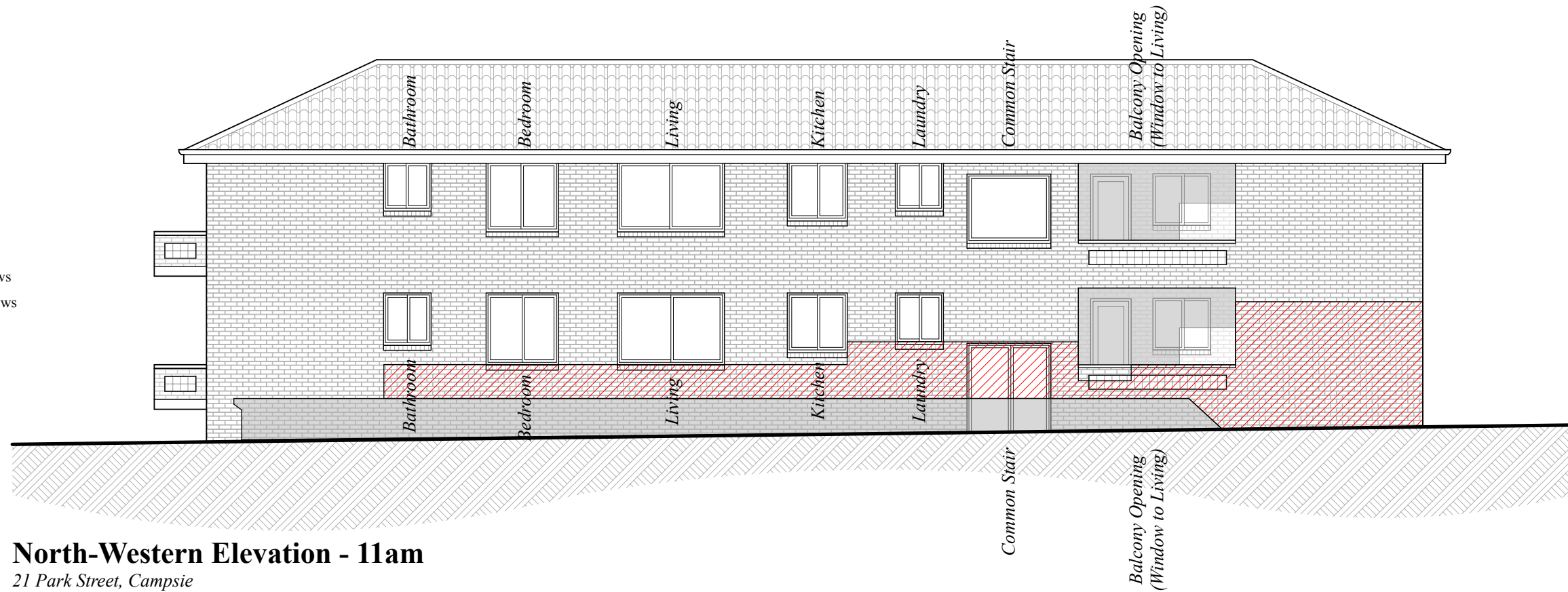
FOR MR TOMI VIDOVIC

SHADOW DIAGRAMS

SCALE 1:200 @ A3

DA10.00 [A]

JANUARY 2023



SCALE IN THE RERES

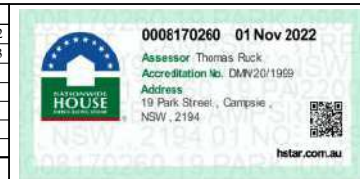
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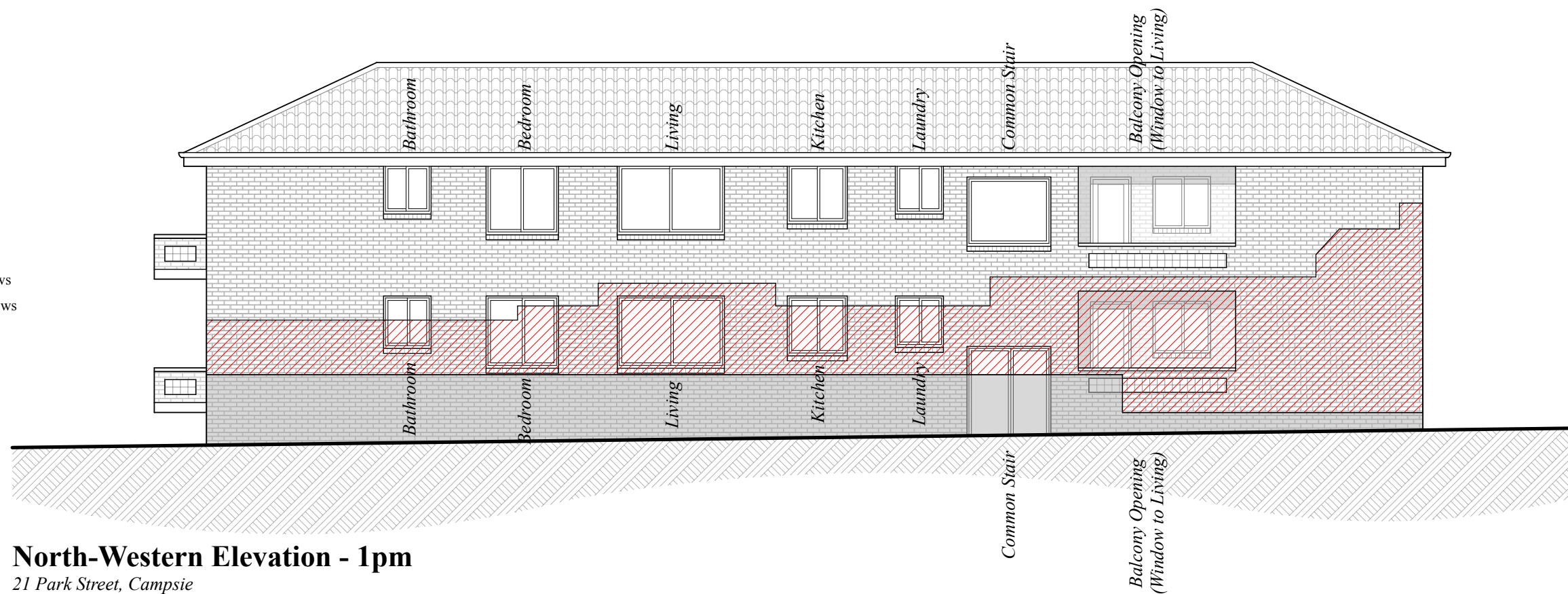
KEY		REVISION	ISSUE	DATE
AC	Air conditioning	PL	Plaster	19/10/2023
BG	Bux gutter	R	Refrigerator	
CM	Current meter	B	Reinforced concrete	16/01/2023
CPD	Cupboard	RL	Relative level	
CR	Copper roofing	CP	Recessed panel	
CT	Cooktop	S	Sink	
DP	Downdraft	SD	Slab drop	
ED	Eastern door	SK	Skylight	
EW	Eastern window	SW	Shower waste	
FW	Floor waste	TB	Timber battens	
HWS	Hot water system	TF	Timber flooring	
OC	Overflow	W	Western door	
OF	Overflow	W	Western window	
PB	Pipe block	CB	Concrete block	

FOR DA / SK / TENDER ISSUE ONLY



**FOR DEVELOPMENT APPLICATION
ISSUE ONLY**

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19 PARK STREET, CAMPSIE
FOR MR TOMI VIDOVIC
ELEVATIONAL SHADOW DIAGRAMS
SCALE 1:100 @A3
DA1.01
JANUARY 2023



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19 PARK STREET, CAMPSIE
FOR MR TOMI VIDOVIC
ELEVATIONAL SHADOW DIAGRAMS
SCALE 1:100 @ A3 **DAL1.02** 
JANUARY 2023

“The Coopersage”

Suite 3.04, 56 Bowman Street, Pyrmont NSW 2009

Ph: (02) 9660 0628

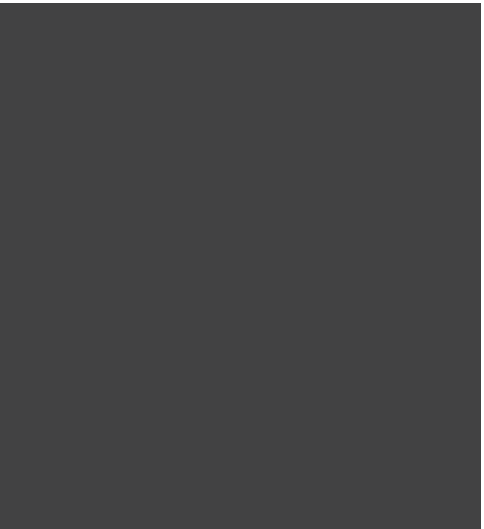
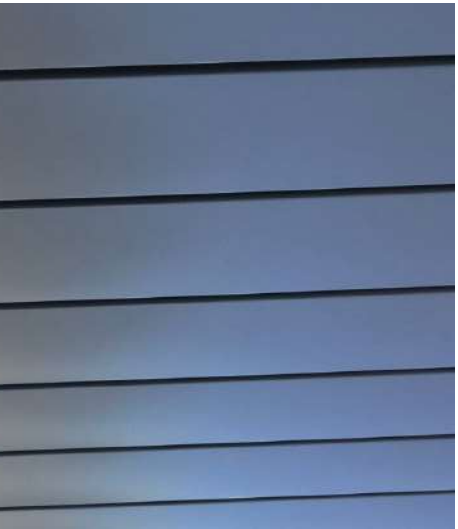

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Wednesday, 26 October 2022

RE: EXTERNAL FINISHES SCHEDULE
at
19 Park Street, Campsie

RooF Sheeting, Gutters & Downpipes, Garage Door, Flashings, Cappings	Colorbond Steel Monument C29	
Attic Wall Cladding	Vertical Metal Cladding Dulux Monument	
Window & Door Frames	Black Anodized Aluminium	

Face Brick	Austral 'Truffle' or similar with dark mortar	
Boundary Wall	Micro Cement Finish	
External Cladding First Floor & Ground Floor	Vertical Axon Cladding Monument C29	
Fence / Gates	Flat Bar Monument C29	